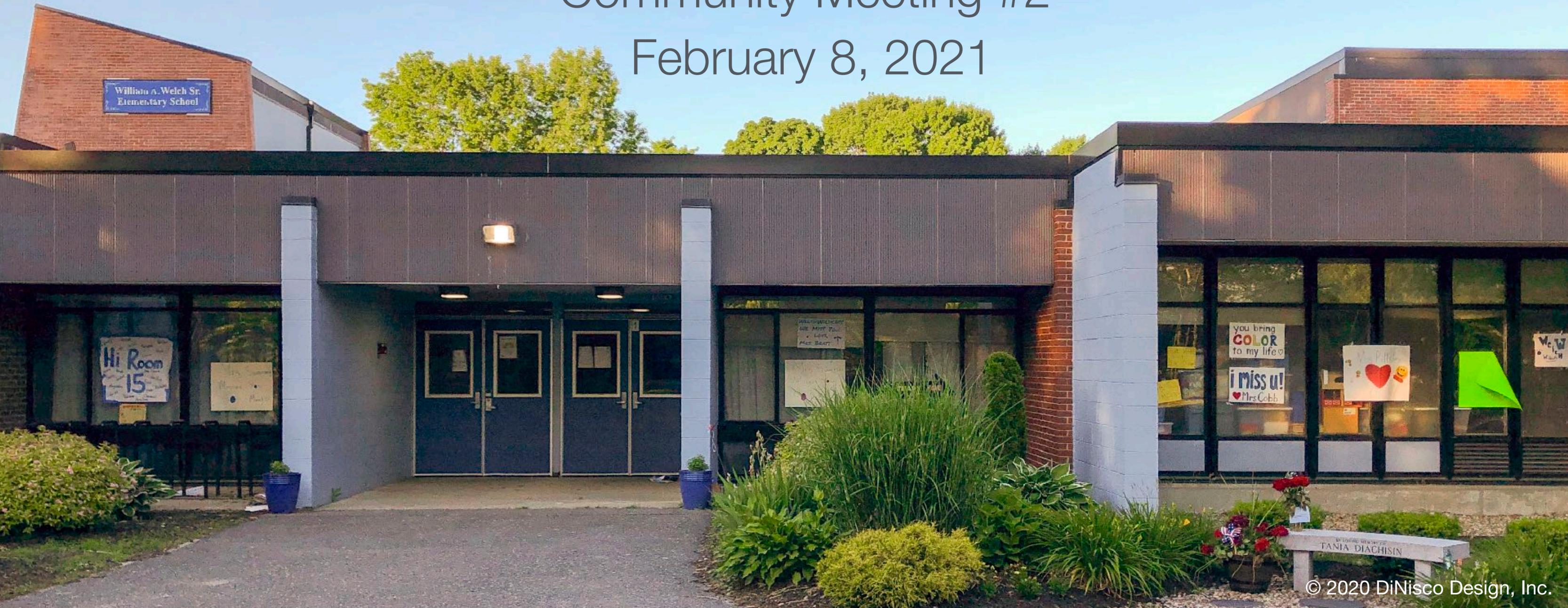


William A. Welch Sr. Elementary School

Community Meeting #2

February 8, 2021



 **DINISCO DESIGN**
architects + planners

PEABODY
Public Schools
"Every Student, Every Day"

dW
DORE + WHITTIER

Agenda

Project Milestones & Schedule
Educational Goals & Programming
Existing Conditions Overview
Preliminary Considerations
Swing Space
Final Evaluation of Alternatives
Questions & Answers

Project Schedule

Process

Milestone Dates

Preliminary Schedule

MSBA Grant Program

Who is the Massachusetts School Building Authority

- Quasi-independent government authority created to reform funding of capital improvement in the commonwealths public schools.
- Your partner to support the design and construction of an educationally appropriate, flexible, sustainable and cost-effective school
- Grant Program: Designed to reimburse as-you-go
- Feasibility & Schematic Reimbursement: 54% of eligible costs
- Approved Design Enrollment of 390 Students
- MSBA Requires team to study renovation only, addition and renovation, and new construction as the options to address the needs of the District.

MSBA Process

The MSBA delivers a project through a clearly defined and prescribed process utilizing 'modules'

- Module 1 – Eligibility Period
- Module 2 – Forming the Team
- Module 3 – Feasibility Study ← We are here
- Module 4 – Schematic Design
- Module 5 – Funding the Project
- Module 6 – Detailed Design
- Module 7 – Construction
- Module 8 – Completing the Project

Project Timeline

September 2020 – April 2021

Module 3 Activities - Feasibility:

- Submit Preliminary Design Program (PDP) – December 2020
 - Educational program
 - Existing Conditions Report
 - Establish Design Parameters
 - Develop and evaluate alternates
- Submit Preferred Schematic Report (PSR) – February 2021
- Summarize the process and conclusions of the Preliminary and Final Evaluation of Alternatives
- Document District's selection and recommendation of the most cost effective and educationally appropriate preferred solution to the MSBA
- Cost comparison table

Project Timeline

February 2021 – October 2021

Module 4 Activities - Schematic Design:

- Schematic Design Submission – September 2021
 - Final design program
 - More detailed Estimates
 - Preliminary Plans / Specs
- MSBA Board Approval of Schematic Design October 2021

Project Timeline

November 2021 – June 2022

Module 5 Activities – Funding the project:

- The District has 120 days from MSBA board approval of schematic design to secure project funding
- Once district approves funding the MSBA will enter into a project funding agreement which will lock the MSBA maximum reimbursement and act to confirm project scope, schedule, and cost
- If approved, proceed to Module 6 – Detailed Design

Milestone Dates

- Community Meeting #2 February 8, 2021
- SBC Vote to Approve PSR February 18, 2021
- Submit Preferred Schematic Report (PSR) February 24, 2021
- MSBA Facilities Assessment Subcommittee Mtg March 10 or 24, 2021
- MSBA Board of Directors Meeting for Approval to Begin Schematic Design April 14, 2021

Preliminary Project Schedule



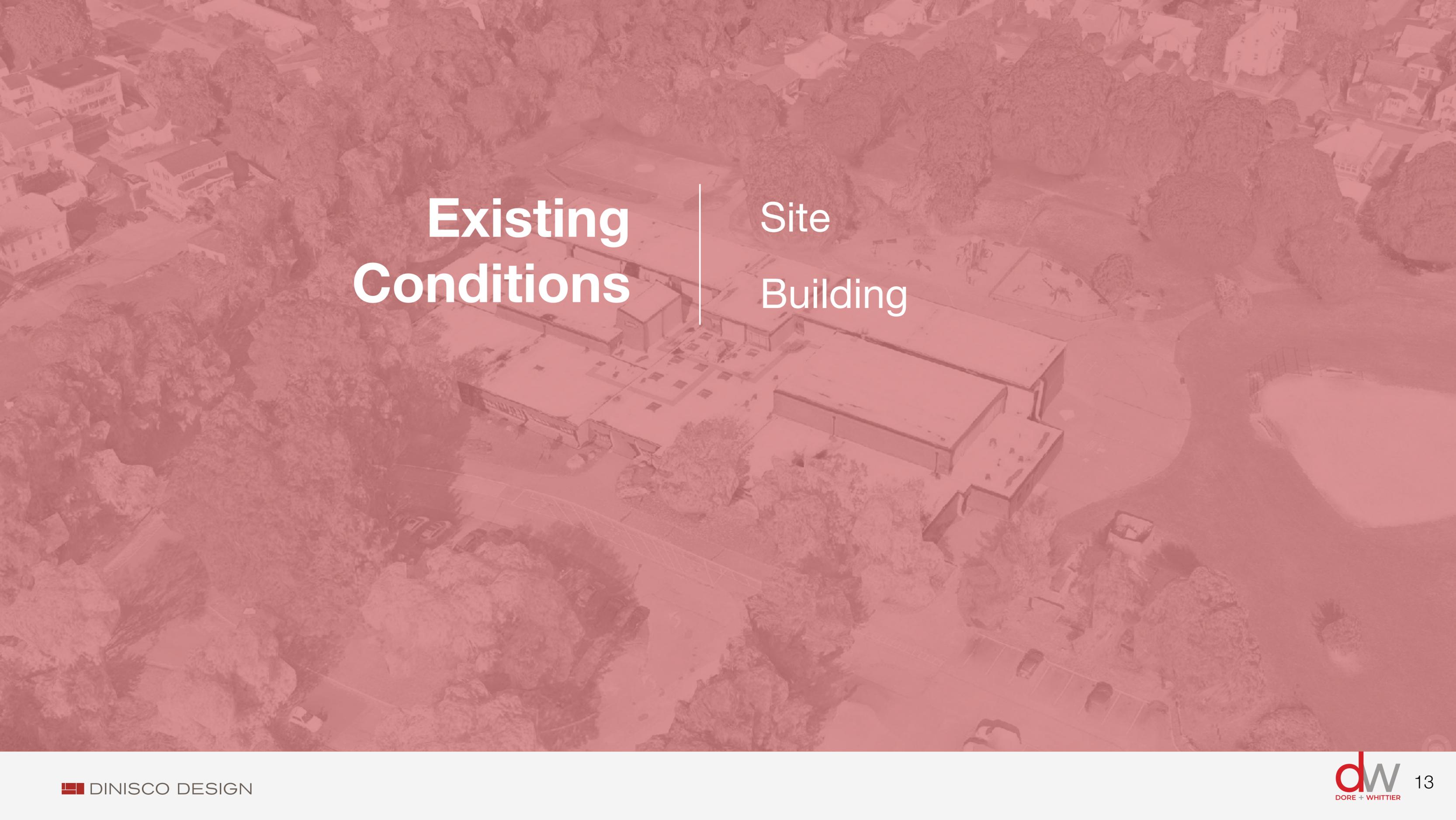


Educational Goals

Educational Program Improvements

Educational Program Improvements

- Reconfigure select spaces to better serve school community
- Accommodate developing PPS district-wide programs, such as Digital Literacy
- Enhance Media Center provides additional area for Digital Literacy and other small group instruction
- Capture under-utilized spaces to use programmatically
- Maintain or enhances school-specific programs, such as Pre-K & Extended Day
- Support social emotional learning (SEL)
- Maximize or provide additional storage space
- Improve security

An aerial photograph of a large building complex, possibly a school or institutional facility, surrounded by trees and a parking lot. The image is overlaid with a semi-transparent red filter. A vertical white line divides the image into two sections. On the left side, the text 'Existing Conditions' is written in white. On the right side, the text 'Site Building' is written in white.

**Existing
Conditions**

**Site
Building**

Site | Existing Conditions

- Welch School
- O'Connor Park
- Marris Park
- Meadow Golf Course
- Site Access
- Pathways
- Solar orientation
- Dense neighborhood
- Construction traffic
- Disruptions



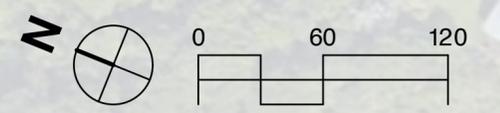
Site | Pedestrian Circulation



Site | Vehicular Circulation

LEGEND

- BUSES / VANS
- CARS
- SERVICE
- EMERGENCY
- BUILDING ENTRANCE
- PARKING SPACES



Existing Site Conditions Summary

Vehicular Pavement & Curbing

- Bituminous concrete in poor condition, curbing in fair condition
- Porous pavement clogged with debris
- +/- 74 parking space - some accessible parking non-compliant with MAAB

Recreation Areas

- Hardscape in poor condition, play structures in good condition
- Play structures, benches & bike racks inaccessible
- Inadequate vehicular & pedestrian site lighting

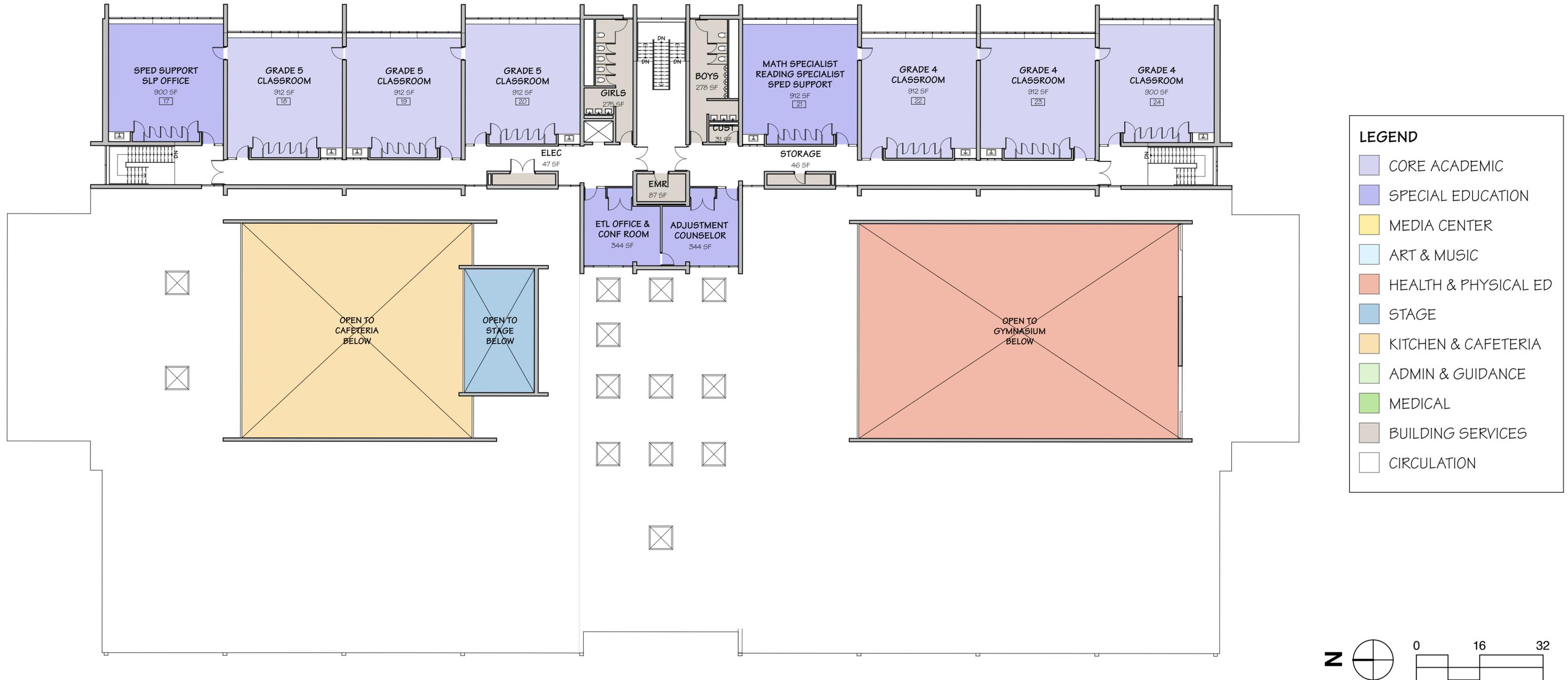
Landscape & Plantings

- Most trees in good or fair health (white pines, oaks, ash, maples)
- Invasive plant species observed along East property line and Strongwater Brook
- Coordinate future development with two memorials & memorial trees

Existing 1st Floor Plan



Existing 2nd Floor Plan



Existing Building Conditions Summary

Mechanical Systems

- All components past useful life

Plumbing Systems

- All components past useful life

Electrical, Communications & Data Systems

- All components past useful life

Structural

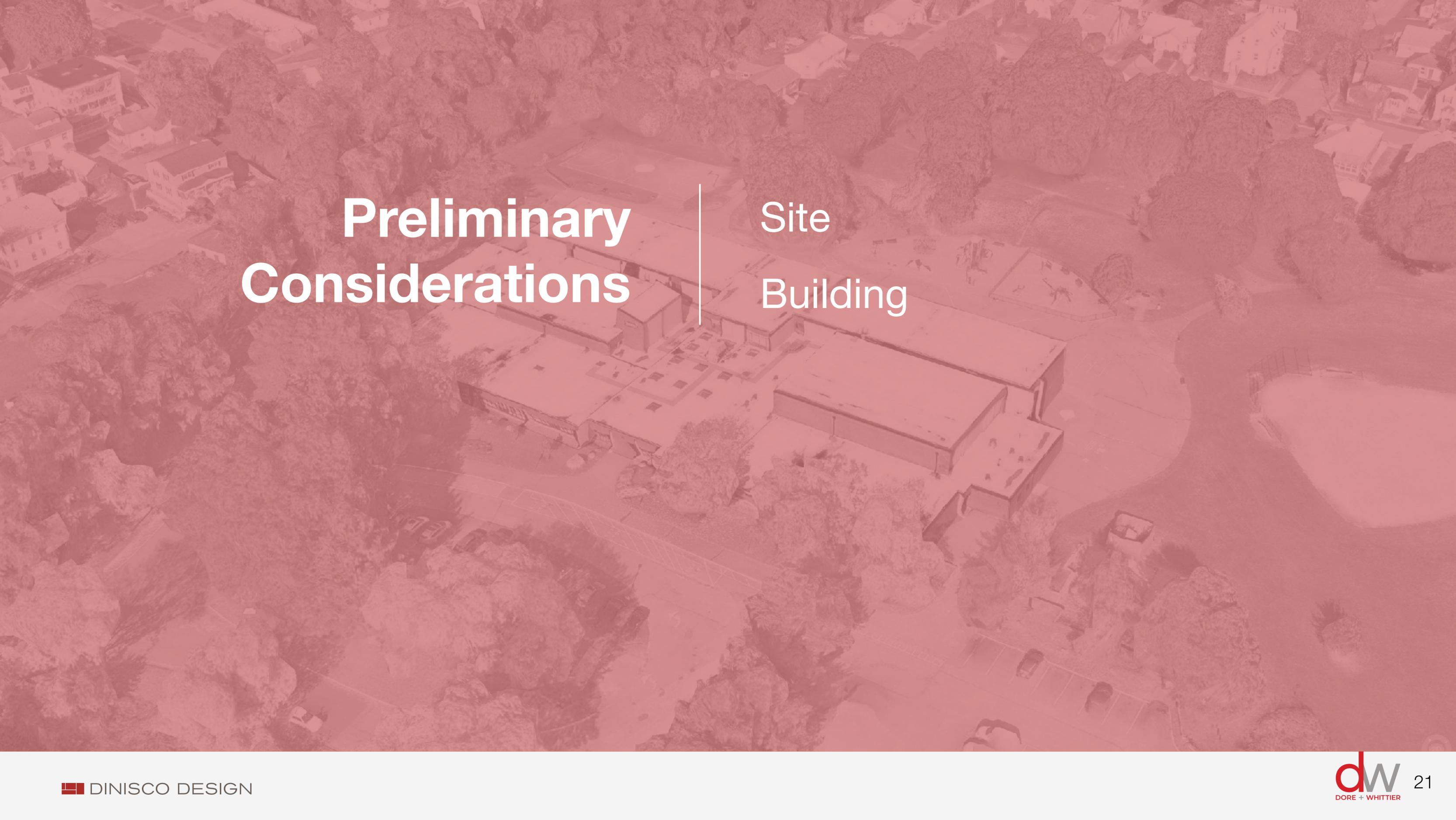
- Analysis of existing building complete

Hazardous Materials

- Analysis of material samples complete

Code Analysis

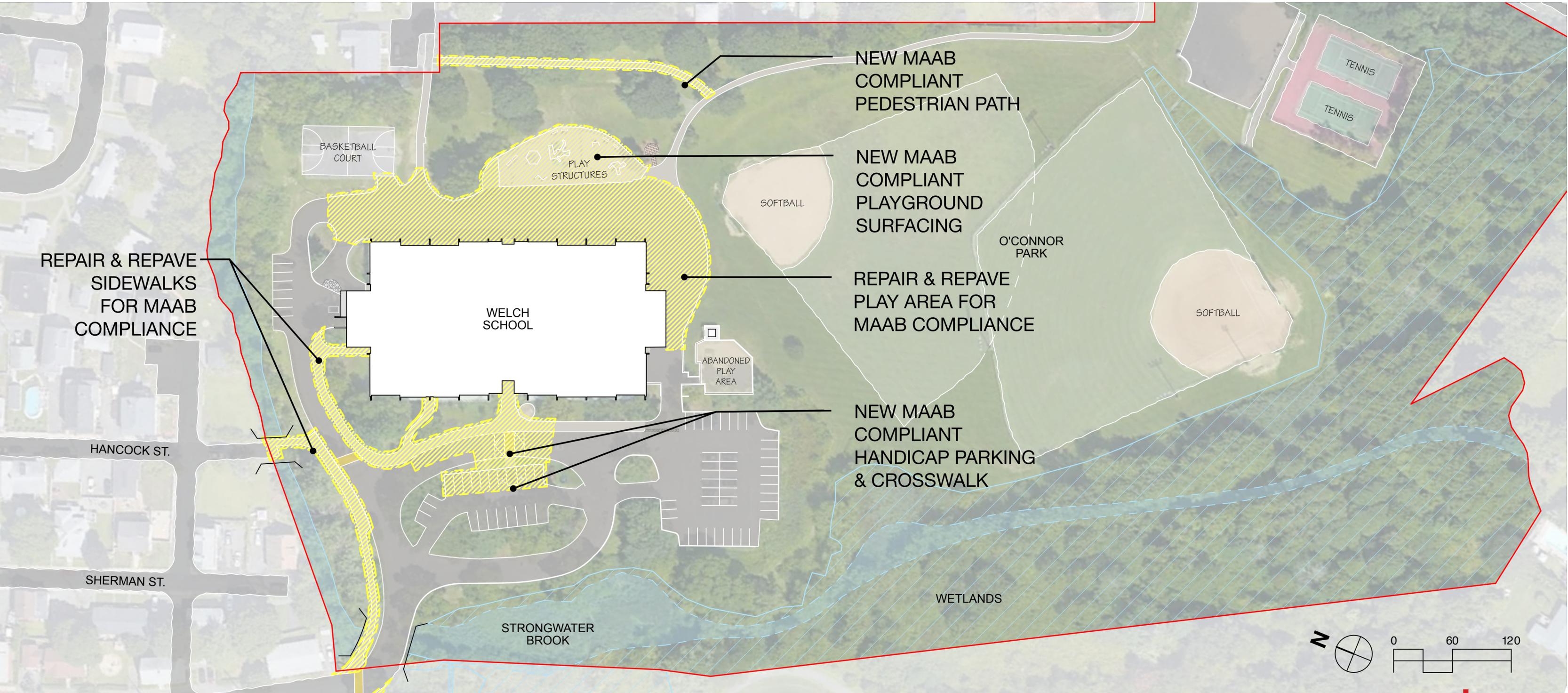
- Building Code and MAAB evaluation complete

An aerial photograph of a large building complex, possibly a school or institutional facility, with a red overlay. The image shows several interconnected buildings, a parking lot with several cars, and surrounding trees and residential areas. A vertical white line is positioned to the right of the main title.

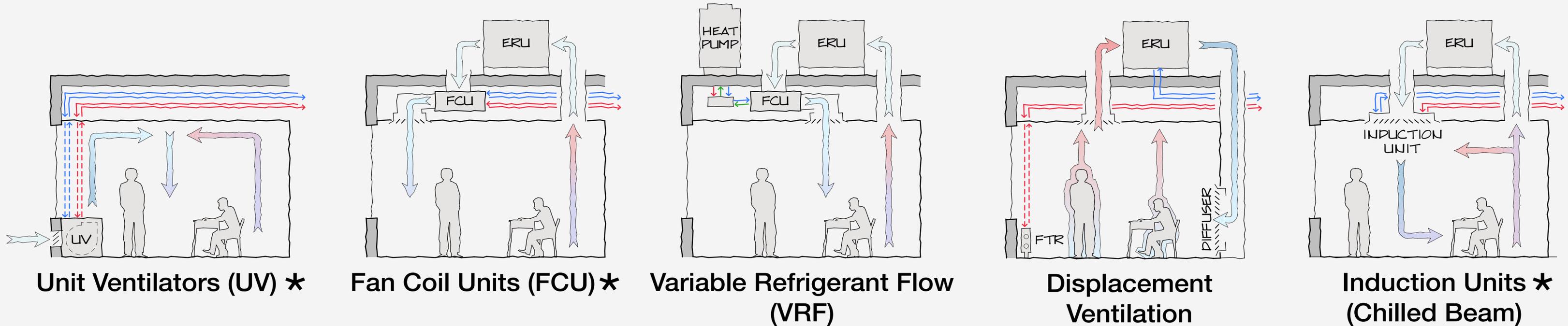
Preliminary Considerations

Site
Building

Proposed Site Improvements



HVAC System Evaluation

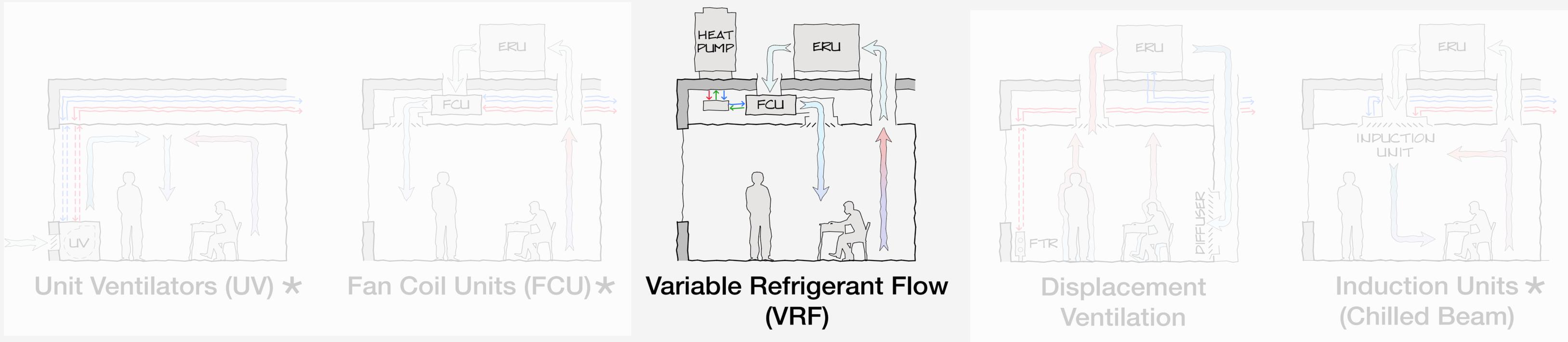


Design Team currently evaluating total of (8) system types (sub-types of Unit Ventilator and Induction Unit systems)

Critical Evaluation Criteria

- Building & Energy Code compliance (new MA Energy Code takes effect next week)
- MSBA minimum energy requirements and incentives
- Physical requirements - structural modifications to existing building to accommodate new system
- First Cost
- Operating Cost & Fuel Type (electric rates, gas rates, maintenance frequency, skilled labor)
- Air Filtration (airborne disease prevention)

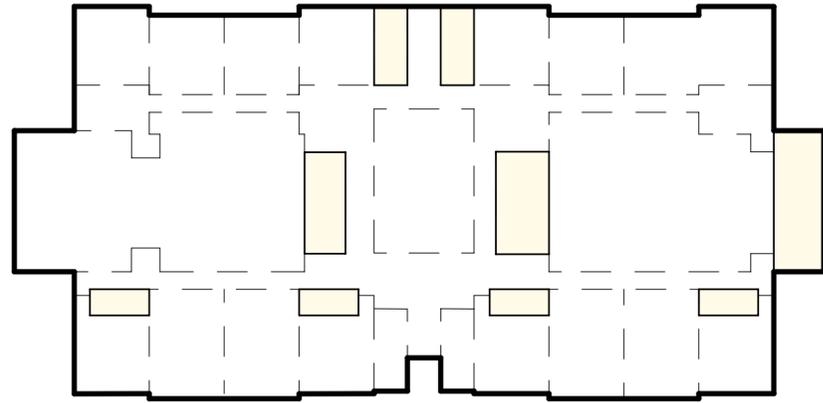
HVAC System Recommendation



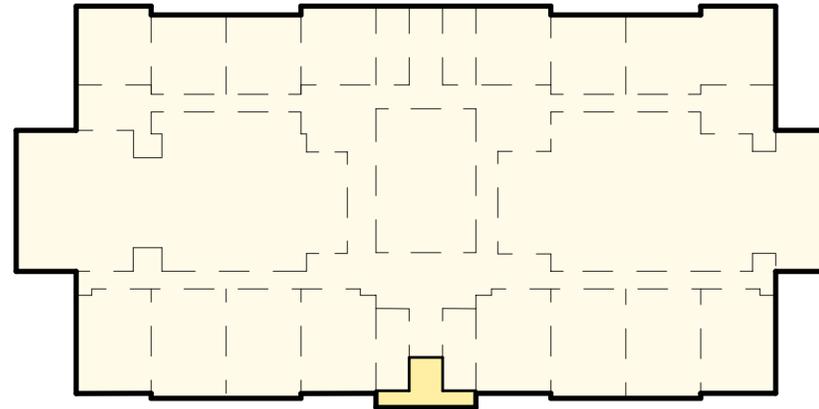
Variable Refrigerant Flow (VRF) Recommended

- Full air conditioning
- All-electric (no new utilities)
- Cost Efficient
 - Low First Cost
 - Low Operating Cost
- Quiet

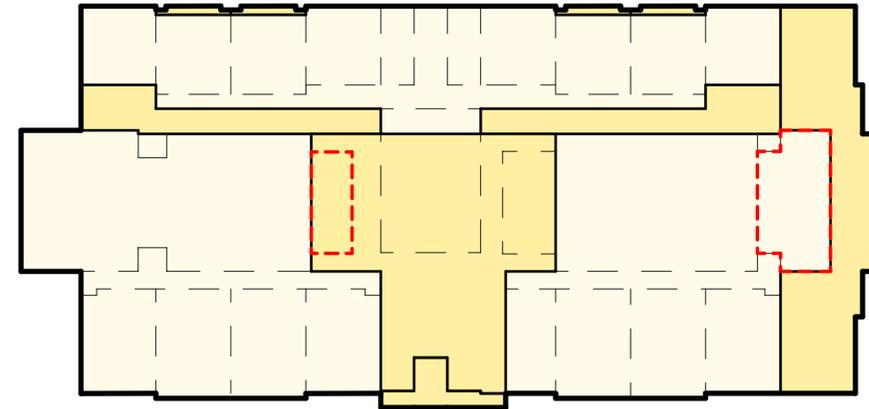
Preliminary Evaluation of Alternatives



OPTION R
Code Upgrades



OPTION R-1
Renovations w/ A/C
(VRF System)

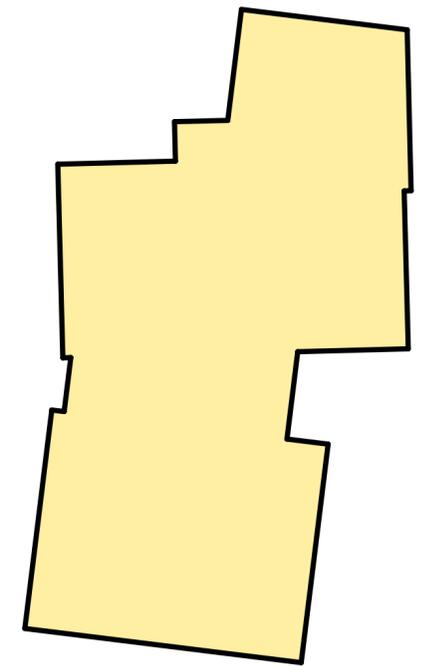


OPTION AR-1
Minor Renovation / Addition

OPTION R-AC
Code Upgrades
w/ Air Conditioning

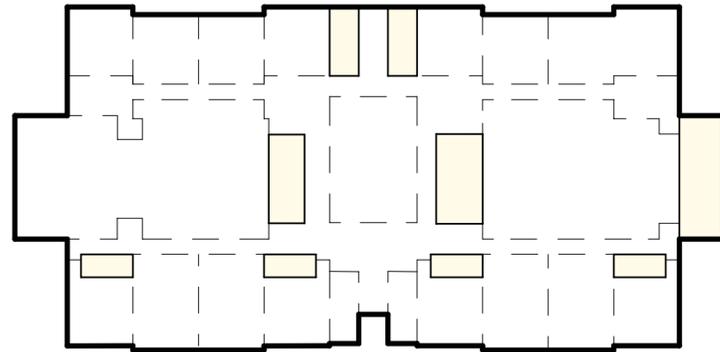
OPTION R-2
Renovations w/ A/C
(Unit Vent System)

OPTION AR-2
Major Renovation / Addition



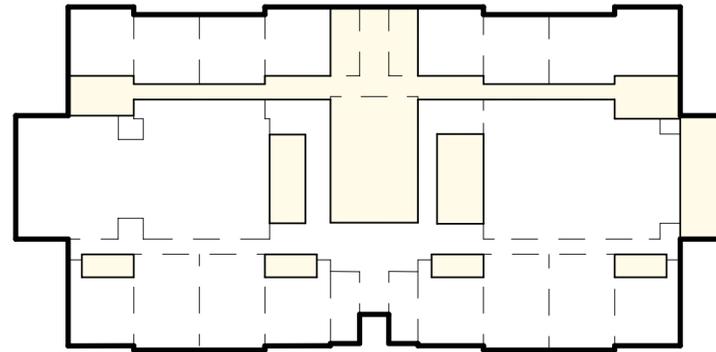
OPTION N
New Construction

Final Evaluation of Alternatives



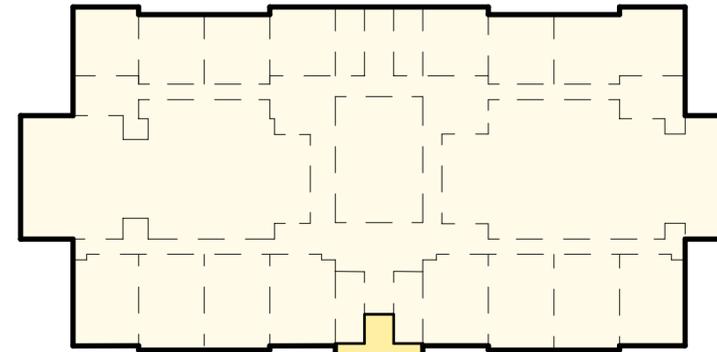
OPTION R

Code Upgrades



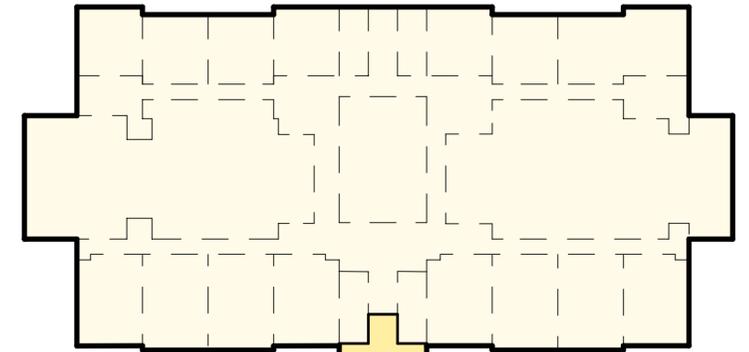
OPTION R-AC

Code Upgrades
w/ Air Conditioning



OPTION R-1

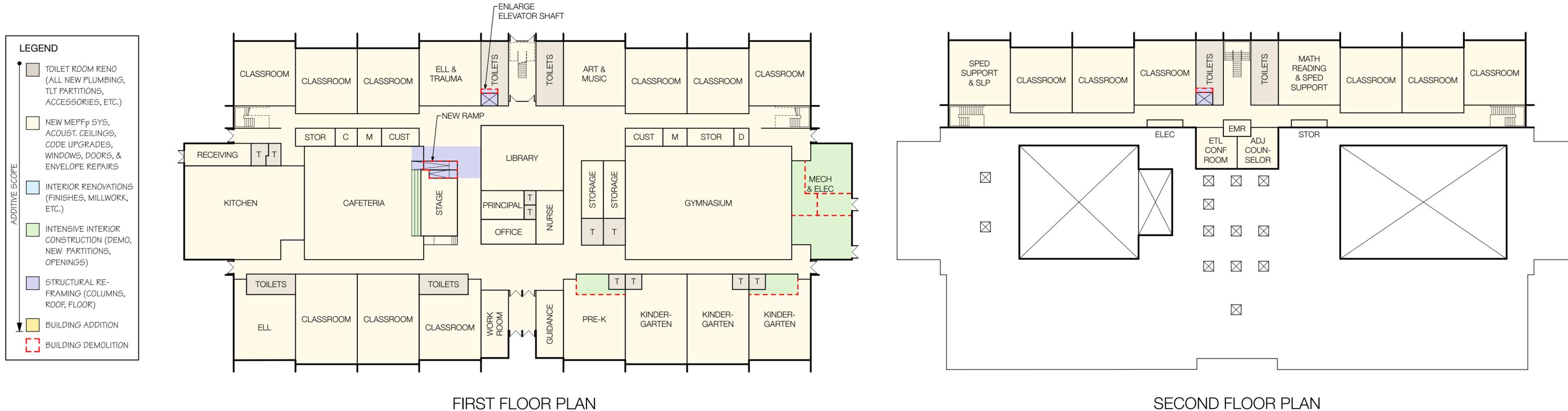
Renovations w/ A/C
(VRF System) &
Select Improvements



OPTION R-1+

Renovations w/ A/C
(VRF System) &
Additional Improvements

Option R | Code Upgrades (MAAB/Repairs)



A. MAAB & CODE UPGRADES

- Stage Ramp
- New Elevator
- Replace non-compliant door hardware
- Comprehensive signage
- Stair Modifications
- Toilet Rooms & Water Fountains
- Classroom Sinks

B. EXTERIOR / ENVELOPE REPAIRS

- New Exterior Windows
- Soffit Replacement *
- New Exterior Doors
- Repair & Paint CMU Fin Walls **

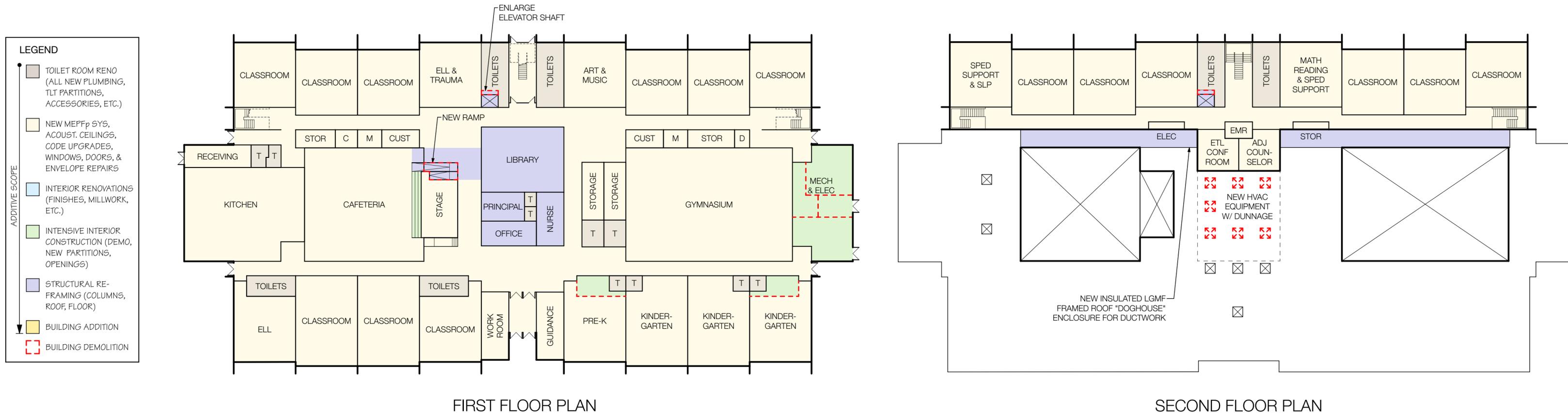
* No cement asbestos fascia work included

** No brick repointing or repairs included

C. BUILDING SYSTEMS REPAIRS

- Replace Unit Ventilators (no A/C)
- Sprinkler & Fire Alarm
- Power System (with Emergency Generator)
- Security System
- Lighting & Controls
- Data, Comms, Clocks & Public Address
- Paint 50% of Building Interiors
- Acoustic Ceilings

Option R-AC | Code Upgrades with Air Conditioning



A. MAAB & CODE UPGRADES

- Stage Ramp
- New Elevator
- Replace non-compliant door hardware
- Comprehensive signage
- Stair Modifications
- Toilet Rooms & Water Fountains
- Classroom Sinks

B. EXTERIOR / ENVELOPE REPAIRS

- New Exterior Windows
- Soffit Replacement *
- New Exterior Doors
- Repair & Paint CMU Fin Walls **

* No cement asbestos fascia work included

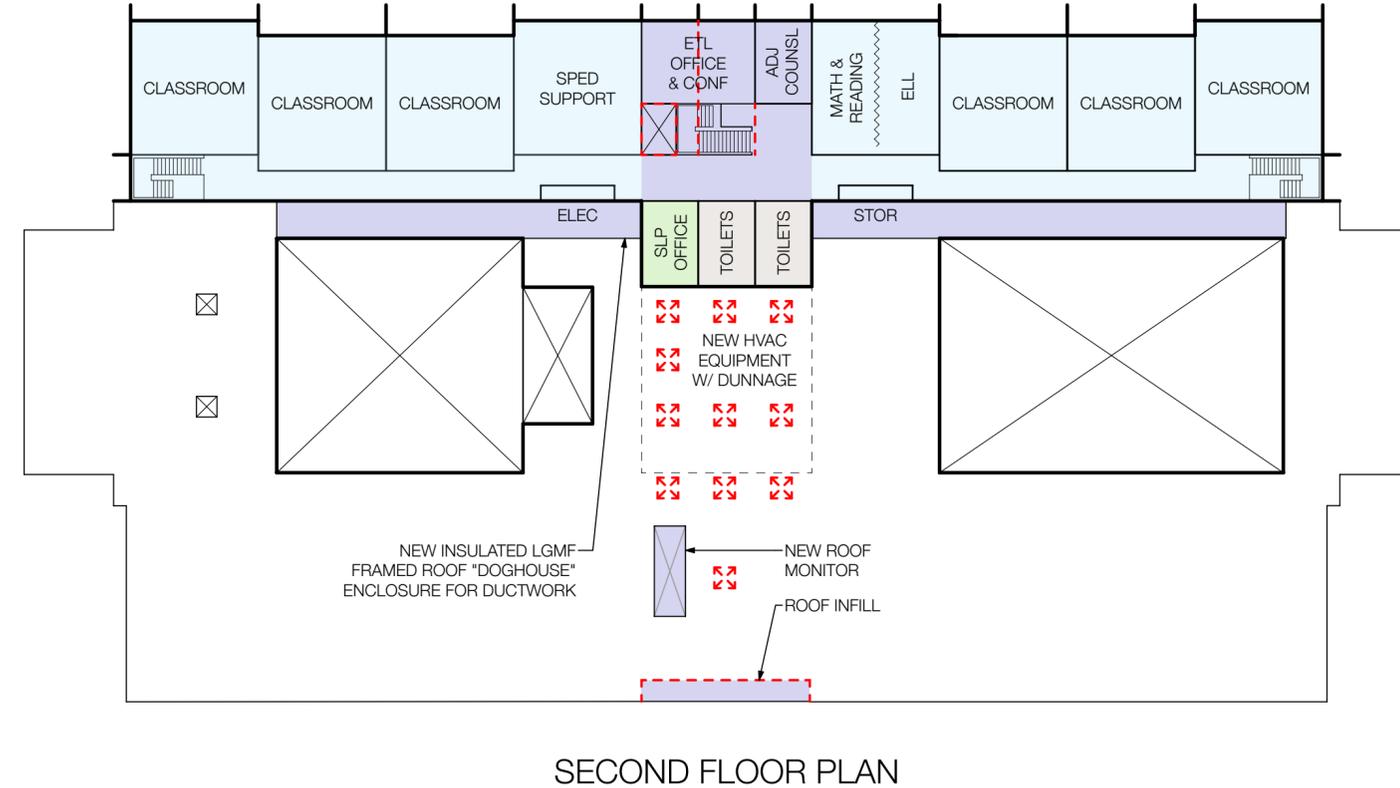
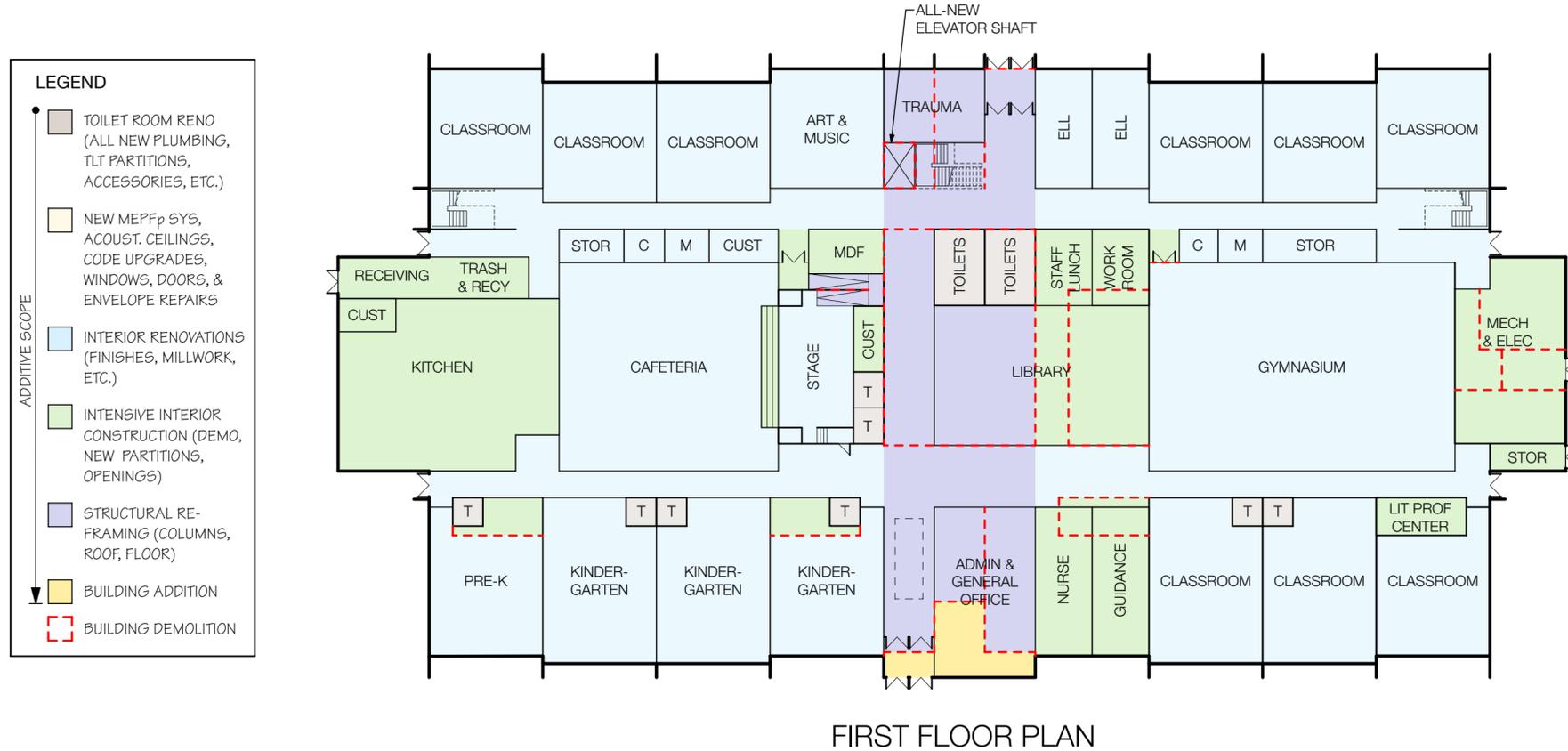
** No brick repointing or repairs included

C. BUILDING SYSTEMS REPAIRS

- **New Mechanical System with A/C**
- Sprinkler & Fire Alarm
- Power System (with Emergency Generator)
- Security System
- Lighting & Controls
- Data, Comms, Clocks & Public Address
- Paint 50% of Building Interiors
- Acoustic Ceilings

*** Bold included in R-AC but not R-Code**

Options R-1 & R-1+ | Renovations with A/C



E. BUILDING IMPROVEMENTS

- **Replace balance of door hardware**
- Paint remainder of interiors
- **Replace exterior asbestos fascia**
- **Replace int. doors, frames, glass**
- Vinyl Asbestos Flooring removal
- Install new VCT Flooring throughout

F. EDUCATIONAL IMPROVEMENTS

- Classroom Reno Allowance
- New Markerboards & Tackboards
- Classroom Speech Reinforcement
- Technology Upgrades (soft costs)
- FF&E Upgrades (soft costs)

G. CORE RELOCATION

- Renovate center bay
- Relocate Admin to main entry
- Expand Media Center

H. KITCHEN REPAIRS

- **Replace Kitchen floor**
- **Limited replacement of equipment**

* **Bold included in R-1+ but not R-1**

Options R-1 & R-1+ | Educational & Operational Benefits

- Enhance building security
- Accommodate developing PPS district-wide programs, such as Digital Literacy
- Enhance Media Center provides additional area for Digital Literacy and other small group instruction
- Maintain or enhances school-specific programs, such as Pre-K & Extended Day
- Support social emotional learning (SEL)
- Maximize or provide additional storage space



Preliminary Considerations

Swing Space

Exploring Alternative Swing Space Options

- **Rationale:**

- ▶ Construction on an occupied site will require the relocation of up to 8 classrooms for a period of 2 years
- ▶ Modular classrooms are a non-reimbursable expense
- ▶ Finding alternative swing space within the district would allow funds to be reallocated to address educational program needs
- ▶ Considerations: Which Students and Swing Space Options?

Options for Swing Space

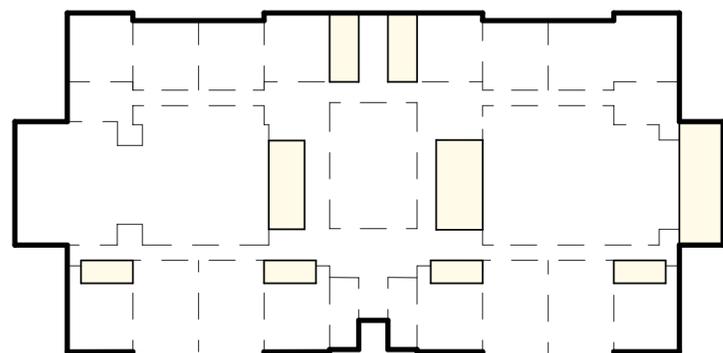
1. Rent Space in Centennial Park
2. Relocate classrooms to Peabody High School
3. Relocate classrooms to Higgins Middle School
4. Relocate classrooms to area elementary schools

Next Steps

- March 2021: Meet with Welch Families
- Spring 2021: Identify potential relocation schools
- Summer 2021: Finalize school placements
- August 2022: Implement relocation plan

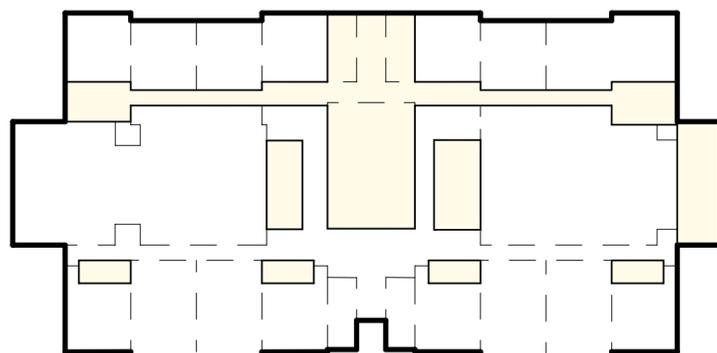
Final Evaluation of Alternatives

Final Evaluation of Alternatives



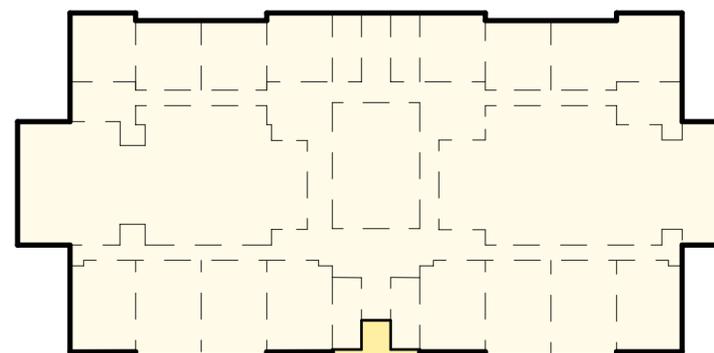
OPTION R

Code Upgrades



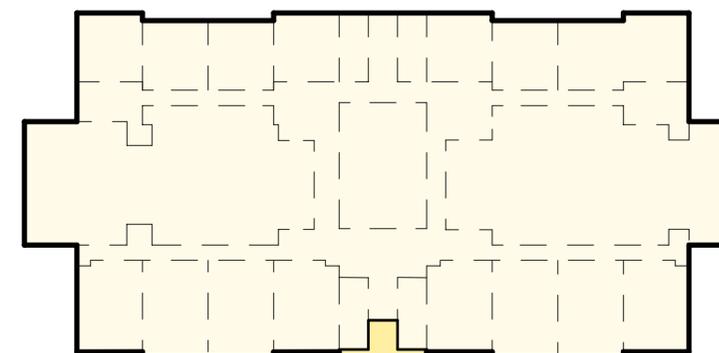
OPTION R-AC

Code Upgrades
w/ Air Conditioning



OPTION R-1

Renovations w/ A/C
(VRF System) &
Select Improvements



OPTION R-1+

Renovations w/ A/C
(VRF System) &
Additional Improvements

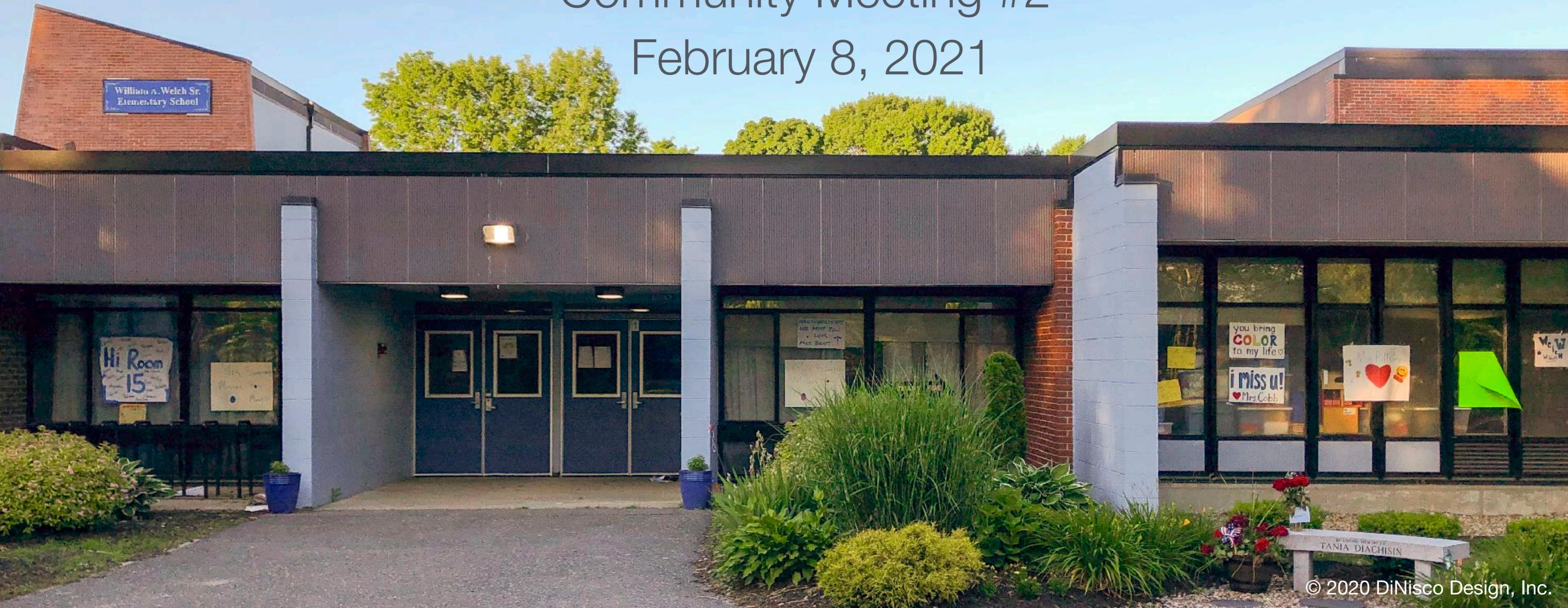
	R-CODE (w/ Modulares)	R-CODE w/ A/C (w/ Modulares)	R-1 w/ A/C (no Modulares)	R-1+ w/ A/C (no Modulares)	R-1+ w/ A/C (no Modulares & +2% Green Reimbursement)
TOTAL CONSTRUCTION COST	\$17,951,149	\$20,551,149	\$20,551,149	\$21,613,162	\$21,613,162
TOTAL PROJECT BUDGET	\$23,257,610	\$26,356,162	\$26,734,649	\$28,000,304	\$28,000,304
ESTIMATED CITY SHARE	\$11,162,206	\$12,542,245	\$11,835,036	\$12,997,674	\$12,497,336

Questions & Answers

William A. Welch Sr. Elementary School

Community Meeting #2

February 8, 2021



 **DINISCO DESIGN**
architects + planners

PEABODY
Public Schools
"Every Student, Every Day"

dW
DORE + WHITTIER